

NOTICE AND CALL OF SPECIAL MEETING
OF THE
GARDEN GROVE PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that a special meeting of the Garden Grove Planning Commission is hereby called to be held on Thursday, June 21, 2018, at 6:00 p.m. in the Council Chamber, of the Garden Grove Community Meeting Center, 11300 Stanford Avenue, Garden Grove, CA 92840.

Said Special Meeting shall be held to discuss the attached Agenda.

DATED: June 14, 2018

A handwritten signature in black ink, appearing to read "George Brietigam". The signature is written in a cursive style with a horizontal line at the end.

George Brietigam
Chair



AGENDA

GARDEN GROVE PLANNING COMMISSION

SPECIAL MEETING

JUNE 21, 2018

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

REGULAR SESSION – 6:00 P.M. – COUNCIL CHAMBER

ROLL CALL: CHAIR BRIETIGAM, VICE CHAIR TRUONG
COMMISSIONERS KANZLER, LAZENBY, LEHMAN, NGUYEN, SALAZAR

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Oral Communications at the beginning of the meeting. Each speaker shall fill out a card stating name and address, to be presented to the Recording Secretary, and shall be limited to five (5) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Any person requiring auxiliary aids and services due to a disability should contact the City Clerk's office at (714) 741-5035 to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to all or a majority of the Planning Commissioners within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the City Community Meeting Center Council Chamber at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Planning Commission may take legislative action it deems appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

- A. ORAL COMMUNICATIONS - PUBLIC
- B. APPROVAL OF MINUTES: June 7, 2018
- C. PUBLIC HEARING(S) (Authorization for the Chair to execute Resolution shall be included in the motion.)
 - C.1. SITE PLAN NO. SP-055-2018
CONDITIONAL USE PERMIT NO. CUP-132-2018

APPLICANT: ASCENT, LLC (KEVIN MCMANUS)

LOCATION: NORTH SIDE OF STANFORD AVENUE, BETWEEN NELSON STREET AND NUTWOOD STREET AT 10641 STANFORD AVENUE

REQUEST: Site Plan approval to demolish an existing 9,600 square foot industrial building and construct a new single-story, 4,992 square foot building with parking lot, landscape, and site improvements, in conjunction with Conditional Use Permit approval to operate a public utility station and equipment building. The site is in the AR (Adaptive Reuse) zone. This project is exempt pursuant to CEQA Section 15303 – New Construction or Conversion of Small Structures.

STAFF RECOMMENDATION: Approval of Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018, subject to the recommended Conditions of Approval.

D. STUDY SESSION

D.1. CODE ENFORCEMENT REVIEW

E. MATTERS FROM COMMISSIONERS

F. MATTERS FROM STAFF

G. ADJOURNMENT

GARDEN GROVE PLANNING COMMISSION
Council Chamber, Community Meeting Center
11300 Stanford Avenue, Garden Grove, CA 92840

Special Meeting Minutes
Thursday, June 7, 2018

CALL TO ORDER: 6:00 p.m.

ROLL CALL:

Chair Brietigam
Vice Chair Truong
Commissioner Kanzler
Commissioner Lazenby
Commissioner Lehman
Commissioner Nguyen
Commissioner Salazar

Absent: Lehman

PLEDGE OF ALLEGIANCE: Led by Commissioner Kanzler.

ORAL COMMUNICATIONS – PUBLIC – None.

May 17, 2018 MINUTES:

Action: Received and filed.

Motion: Truong Second: Salazar

Ayes: (5) Brietigam, Kanzler, Nguyen, Salazar, Truong

Noes: (0) None

Abstain: (1) Lazenby

Absent: (1) Lehman

STUDY SESSION – CEQA 101: Attorney Ricia Hager, of Woodruff, Spradlin & Smart, presented an overview of the California Environmental Quality Act (CEQA), which provides information to decision makers about the possible environmental consequences of proposed projects before they are approved. Staff and Commissioners discussed and received input on the presentation.

MATTERS FROM COMMISSIONERS: Chair Brietigam challenged the City to increase the sworn Police staff to 200 by the year 2020, along with five additional firefighters. He then asked for an update on the Valley View theater project. Staff responded that plans had not been turned in yet.

Commissioner Lazenby asked for updates on the landfill property behind the Embassy

Suites Hotel, the Site C project, and the Garden Brook Senior Village (formerly Galleria). Staff responded that Economic Development was working with the Hyatt Hotel and Embassy Suites on project details, however, most of the land would be a parking lot with only portions being buildable; that the Site C project was currently undergoing value engineering to reduce construction costs; that Garden Brook Senior Village was approved, but not in plan check yet; and that the Brookhurst Triangle was finalizing the first phase with the second phase to begin after the KIA move.

MATTERS FROM STAFF: Staffed noted that the June 21st meeting would begin at 6:00 p.m. with a public hearing item and a study session on Code Enforcement. Also, the July 5th meeting would be cancelled.

ADJOURNMENT: At 7:13 p.m. to the next Regular Meeting of the Garden Grove Planning Commission on Thursday, June 21, 2018, at 6:00 p.m. in the Council Chamber of the Community Meeting Center, 11300 Stanford Avenue, Garden Grove.

Motion:	Lazenby	Second:	Truong
Ayes:	(6)	Brietigam, Kanzler, Lazenby, Nguyen, Salazar, Truong	
Noes:	(0)	None	
Absent:	(1)	Lehman	

Judith Moore
Recording Secretary

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1.	SITE LOCATION: North side of Stanford Avenue between Nelson and Nutwood Streets, at 10641 Stanford Avenue
HEARING DATE: June 21, 2018	GENERAL PLAN: Industrial/Residential MU2
CASE NO.: Site Plan No. SP-055-2018 & Conditional Use Permit No. CUP-132-2018	ZONE: Adaptive Reuse (AR)
APPLICANT: Kevin McManus	CEQA DETERMINATION: Exempt – 15303 – New Construction or Conversion of Small Structures
PROPERTY OWNER: Charter Communications, Inc.	APN: 089-101-23

REQUEST:

The applicant is requesting Site Plan approval to demolish an existing 9,600 square foot industrial building and site improvements on a 35,658 square foot lot to construct a new 4,992 square foot one-story, data center building located at 10641 Stanford Avenue, along with a parking lot, landscaping, and site improvements, in conjunction with Conditional Use Permit approval to operate a public utility station and equipment building use.

PROJECT STATISTICS

	CODE REQUIREMENT	PROVIDED
Lot Size	15,000 square feet	35,658 square feet
Lot Width	75'-0"	114'-0"
Parking	2.25 spaces per 1,000 gross square feet, requirement: 12 spaces	17 spaces
Landscaping	60% of setback area 10% of net developable site area	1,710 square feet (60%) 9,020 square feet (28.2%)
Building Height	4 stories or 50'-0"	1 story at 22'-11"
Building Setbacks		
Front – South	15'-0"	15'-0"
Rear – North	10'-0"	10'-0"
Interior Side - West	None	6'-0"
Interior Side - East	None	10'-0"

BACKGROUND:

The subject site is a single parcel, 35,658 square foot in size, located on the north side of Stanford Avenue between Nelson and Nutwood Streets at 10641 Stanford Avenue. The subject site is improved with an existing 9,600 square foot, one-story building, located on the front portion of the subject site. There is one (1) substandard access point onto the site off Stanford Avenue that leads directly to the parking area.

The subject site has a General Plan Land Use Designation of Industrial/Residential MU2 and is zoned AR (Adaptive Reuse). The property abuts PUD-105-88 (Planned Unit Development) zoned properties to the north and the west, and AR (Adaptive Reuse) zoned properties to the south across Stanford Avenue, and to the east.

A historical review of the City's Business Licenses shows that as of 1989, the subject site operated as a tow and auto repair facility. Currently, the site is vacant. The Municipal Code requires the approval of a new Site Plan when there is a proposal for "any new building or structure or any addition to an existing structure or building that exceeds ten percent (10%) of the existing floor area, or one thousand (1,000) square feet, whichever is less."

DISCUSSION:

The property owner Charter Communication, Inc. is proposing a data storage facility. The proposed use is considered as a public utility station and equipment building use that requires the Planning Commission consideration via the Conditional Use Permit process. The facility will be used to support the cable services for residential and commercial customers in the City of Garden Grove. In general, support includes systems for video on demand, digital video recording, video programming and music, internet services, wireless routers and in-home wireless internet experience, voice communications, and data networking to mention a few of the data services.

Site Design and Circulation

The subject site is improved with one (1) substandard existing driveway approach, curb and gutter, and a public sidewalk off Stanford Avenue. The project will be designed with a new 30'-0" wide driveway approach along with a 20'-0" long driveway throat that meets current City standards. The overall parking lot layout is "L" shaped, with a portion situated on the east side adjacent to the new trash enclosure, and the remaining parking area in the center of the subject site. A large portion of the landscaping is planted in the west and southwest portion of the subject site.

Building Placement

The building will be situated at the northwest corner of the subject site. The development standards for the AR zone requires the following building setbacks; a

front 15'-0", a rear 10'-0" when abutting a residentially zoned lot, and zero setback for the interior sides. The building placement complies with the required setbacks by providing a southerly front of 235'-0", a northerly rear of 10'-0", an easterly side of 36'-0", and a westerly side of 6'-0".

Floor and Exterior Equipment Plan

The interior of the 4,992 square foot building will consist of five (5) rooms: the data center; tech room; electrical room; storage room, and an unisex restroom. On the exterior of the building, 5'-0" away on the east side, on a 16'-0" by 50'-0" concrete pad, four (4) condensing units, approximately 4'-6" wide, by 19'-6" long, by 5'-0" tall, will be installed to maintain a cold temperature for the data storing units. To prevent any condensing unit sound transmission, a 20'-0" high concrete block wall will be built 10'-0" away from the north property line that abuts the adjacent residential development from the new building to the east property line. Additionally, beginning at the northeast corner of the site, an 8'-0" high concrete block wall by 124'-0" long will be built on the east side property line adjacent to the existing industrial use. The remaining distance of 162'-0" will consist of an 8'-0" high black vinyl chain linked fence. For power outage emergencies, 13'-0" away on the southeast side of the building, a generator, approximately 10'-0" wide, by 40'-0" long, by 13'-6" tall, will be installed on a 10'-0" by 40'-0" concrete pad. The conditions of approval will ensure that any proposed equipment shall be screened from the public right-of-way.

Elevation Design

The proposed elevations will consist of precision cement blocks laid out in a running bond pattern with flush grout lines. The building's elevation patterns will consist of two (2) concrete block colors, Austin Ivory and Aztec. The roof will be a standing seam metal roof with parapet and flashing cap. Overall, the architecture and design of the building aligns itself as contemporary architecture.

Parking

The City's Municipal Code Section 9.18.140.030, Parking Spaces Required, Industrial Uses, states that buildings with less than 20,000 square feet of gross floor area requires 2.25 parking spaces per 1,000 square feet of gross floor area.

Therefore, based on the applicant's proposed 4,992 square foot building, code requires twelve (12) parking spaces. The proposed site design provides a total of seventeen (17) parking spaces. The parking breakdown includes fifteen (15) standard parking spaces, two (2) accessible parking spaces, consisting of one (1) van accessible space, and one (1) standard accessible parking space.

Landscaping

Pursuant to Sections 9.18.100.020.C.5 and 9.18.120.030 of the City's Municipal Code, respectively, for this type of development, a minimum of sixty percent (60%) of the surface area of required setbacks, and a minimum of ten percent (10%) of all net developable site area, must be landscaped. The proposed Site Plan includes approximately 1,710 square feet of landscaping in the setbacks, which equates to

60% of the surface area of the required setbacks. A total of 9,020 square feet of landscaping is proposed site-wide, which equates to 28.2% of the net developable site area. Therefore, the Code's minimum landscaping requirements are met. As a condition of approval, the applicant is required to submit a landscape and irrigation plan to the City that complies with the landscaping requirement of Title 9 of the Municipal Code.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt Resolution No. 5924-18 approving Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018, subject to the recommended conditions of approval.



Lee Marino
Planning Services Manager



By: Paul Guerrero
Senior Program Specialist

300' RADIUS MAP

CUP-132-2018

CITY OF GARDEN GORVE, CA

Lampson Ave

R-3

Kensington Ln

O-S

R-3

Claussen St

R-1-7

R-1-7

Vienna Dr

R-1-7

PUD-105-88

AR

AR

Nelson St

CCSP-PR12

PUD

Elizabeth Ln

Westlake St

CCSP-66R20

PUD-117-98

Westlake St

Acacia Pkwy

Stanford Ave

AR

Acacia Ave

Nutwood St

AR

AR

R-3

3



1000 STEWART AVENUE, SUITE 100
GARDEN GROVE, CA 92640
TEL: 714.948.1234
WWW.ASCENTCIVIL.COM

PROJECT NO. 2018-001
DATE: 08/15/2018

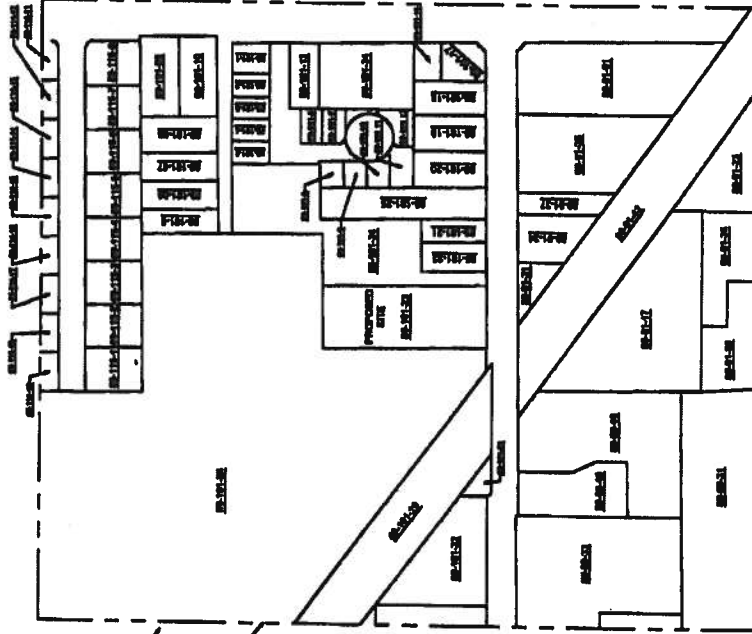
**GARDEN GROVE
NEW BUILD**

1000 STEWART AVENUE, SUITE 100
GARDEN GROVE, CA 92640

AREA MAP

DATE	
SCALE	
PROJECT NO.	
CLIENT	
DESIGNER	
CHECKER	
DATE	

A



AREA MAP	
DATE	
SCALE	
PROJECT NO.	
CLIENT	
DESIGNER	
CHECKER	
DATE	



GARDEN GROVE CITY LIMITS & SITE LOCATION





18000 E. Stewart Avenue
 Suite 100
 Denver, CO 80231
 Phone: (303) 750-1100
 Fax: (303) 750-1101

PROJECT NO. 18-0001

DATE: 08/15/18

SCALE: 1/8" = 1'-0"

DRAWN BY: J. BROWN

CHECKED BY: M. SMITH

DATE: 08/15/18

PROJECT NO. 18-0001

DATE: 08/15/18

SCALE: 1/8" = 1'-0"

DRAWN BY: J. BROWN

CHECKED BY: M. SMITH

DATE: 08/15/18

PROJECT NO. 18-0001

DATE: 08/15/18

SCALE: 1/8" = 1'-0"

DRAWN BY: J. BROWN

CHECKED BY: M. SMITH

DATE: 08/15/18

PROJECT NO. 18-0001

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SCALE: 1/8" = 1'-0"

DRAWN BY: J. BROWN

CHECKED BY: M. SMITH

DATE: 08/15/18

PROJECT NO. 18-0001

DATE: 08/15/18

SCALE: 1/8" = 1'-0"

DRAWN BY: J. BROWN

CHECKED BY: M. SMITH

DATE: 08/15/18

PROJECT NO. 18-0001

DATE: 08/15/18

SCALE: 1/8" = 1'-0"

DRAWN BY: J. BROWN

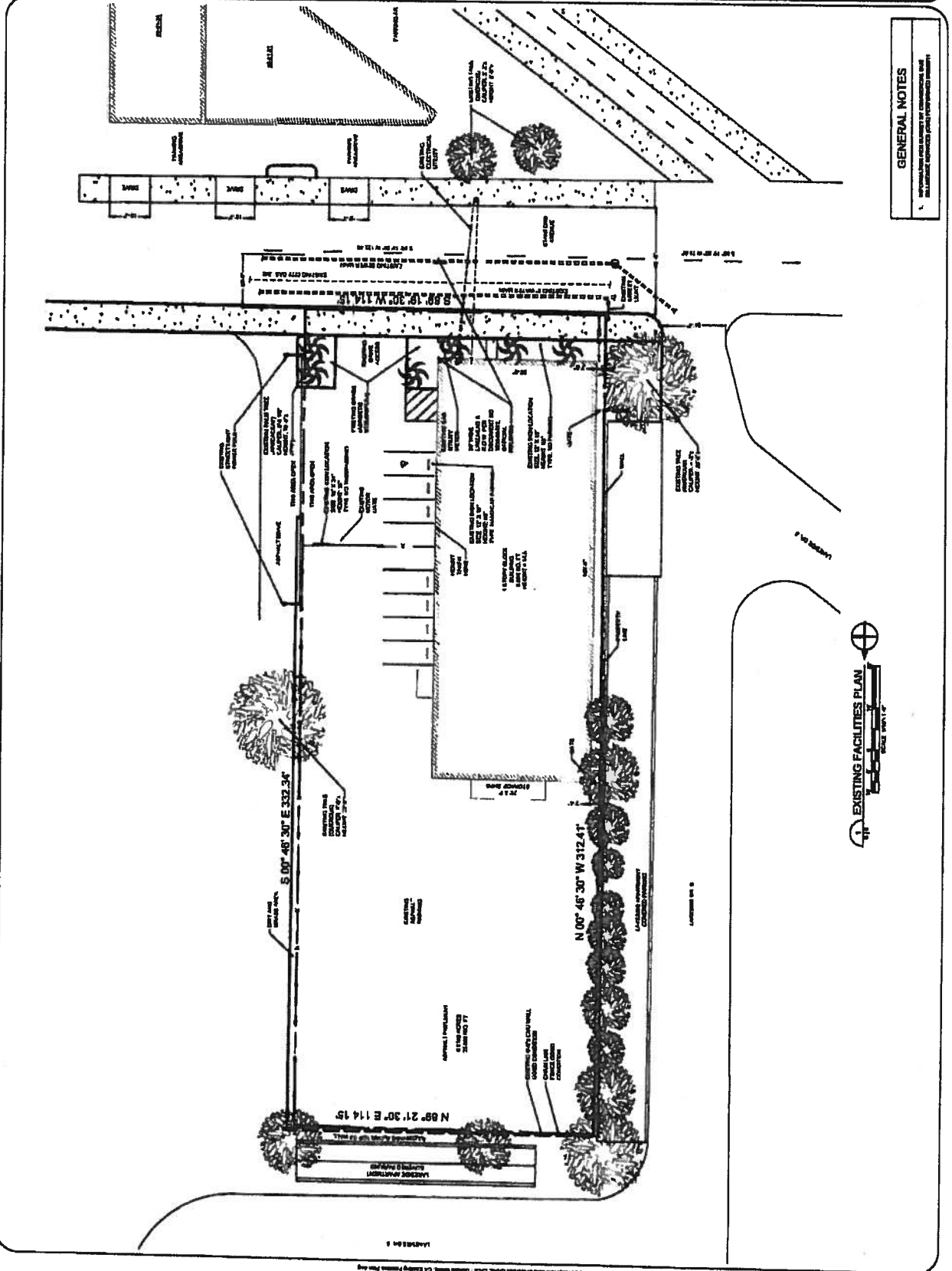
CHECKED BY: M. SMITH

DATE: 08/15/18

PROJECT NO. 18-0001

DATE: 08/15/18

SCALE: 1/8" = 1'-0"



GENERAL NOTES

1. INFORMATION AND DATA FOR CONSTRUCTION AND INSTALLATION SUBJECTS SHALL BE OBTAINED FROM THE



EXISTING FACILITIES PLAN

B



2000 S. Orange Avenue
Garden Grove, CA 92647
Phone: (714) 261-1100

PROJECT NO.

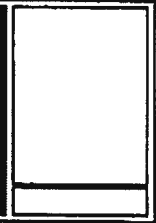
DATE

OWNER

PROJECT NAME
GARDEN GROVE
NEW BUILD

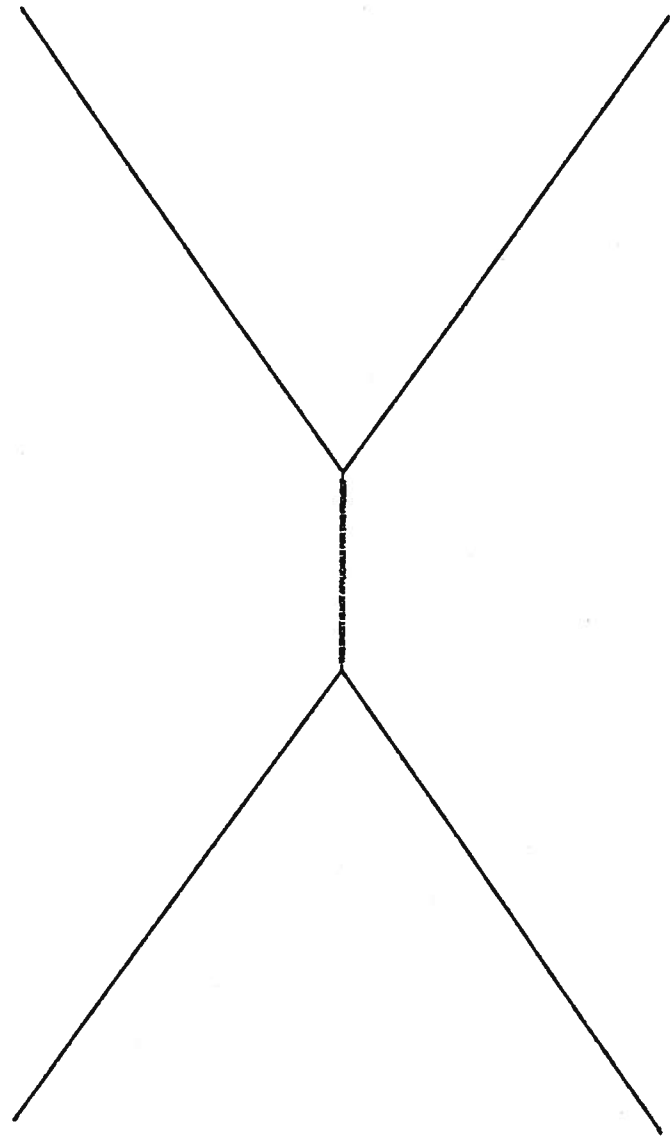
1000 S. ORANGE AVENUE,
GARDEN GROVE, CALIFORNIA, 92647

TENTATIVE SUBDIVISION
MAP



DATE	
SCALE	
FILE NUMBER	
PROJECT NO.	
OWNER	
PREPARED BY	
CHECKED BY	
APPROVED BY	

D





10000 Ascend Avenue, Suite 100
 San Diego, CA 92121
 Tel: 619-594-1000
 Fax: 619-594-1001

THESE ELEVATIONS ARE THE PROPERTY OF ASCENT ARCHITECTURE AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ASCENT ARCHITECTURE.

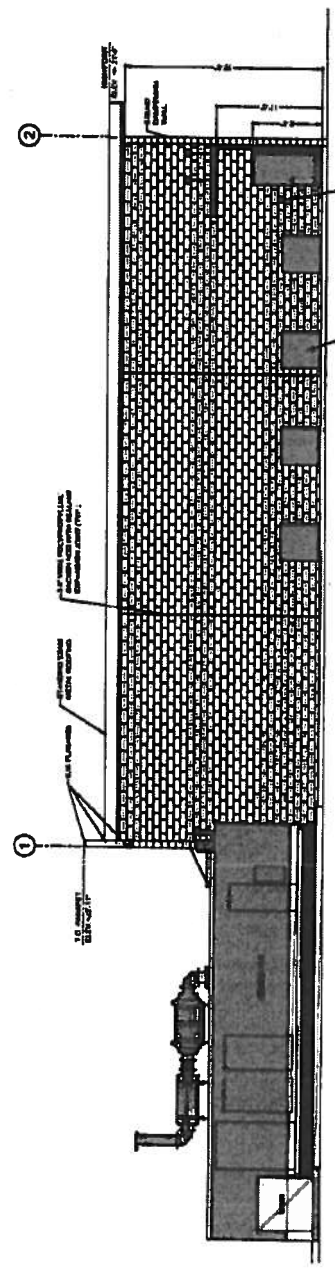
**GARDEN GROVE
 NEW BUILD**

1841 STRANFORD AVENUE
 GARDEN GROVE, CA 92642

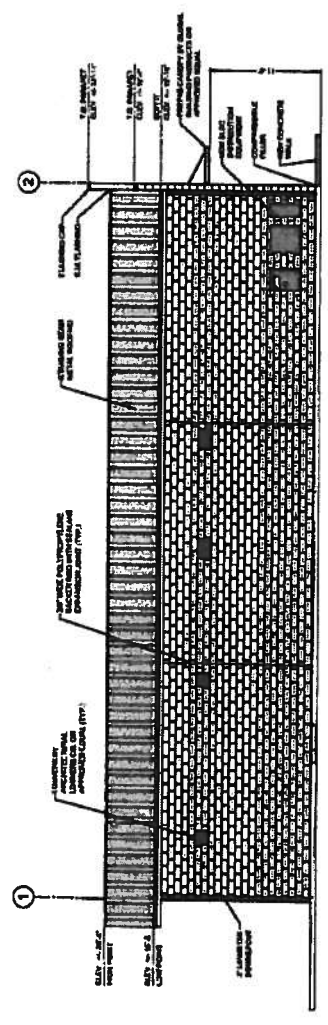
**EAST/WEST
 ELEVATIONS**

DATE	08/11/17
SCALE	1/4" = 1'-0"
FILE NUMBER	17-0000
DESIGNED BY	ASCENT
DRAWN BY	ASCENT
CHECKED BY	ASCENT
DATE	08/11/17

F1



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



40000 Wilshire Blvd, Suite 1000
Beverly Hills, CA 90210
Tel: 310.277.1111 Fax: 310.277.1112

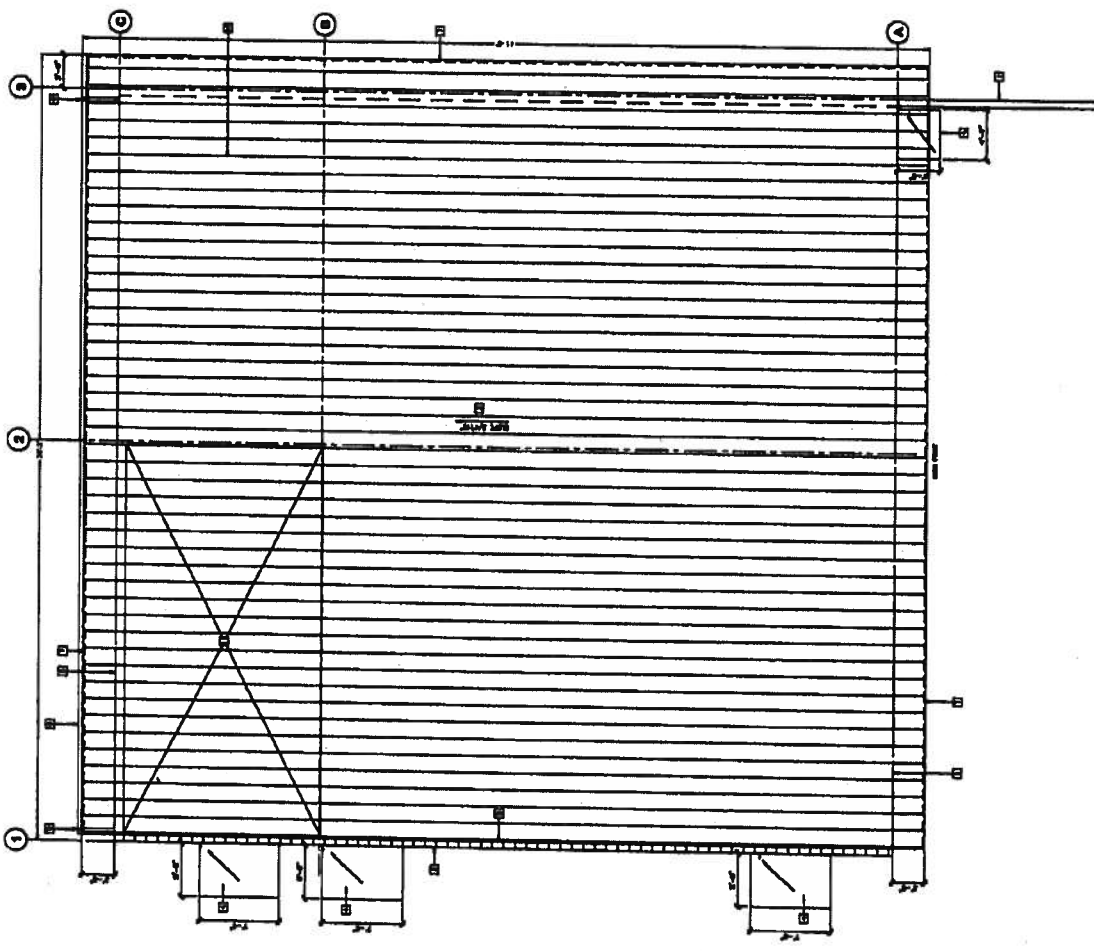
PROJECT INFORMATION
GARDEN GROVE
NEW BUILD

18441 STAMFORD AVENUE
GARDEN GROVE, CALIFORNIA, 92646

ROOF PLAN

DATE	
SCALE	3/8" = 1'-0"
DRAWN BY	
CHECKED BY	
PROJECT NUMBER	

G



- CONSTRUCTION NOTES**
1. See all notes on this sheet.
 2. All framing shall be in accordance with the requirements of the applicable building code.
 3. All framing shall be in accordance with the requirements of the applicable building code.
 4. All framing shall be in accordance with the requirements of the applicable building code.
 5. All framing shall be in accordance with the requirements of the applicable building code.
 6. All framing shall be in accordance with the requirements of the applicable building code.
 7. All framing shall be in accordance with the requirements of the applicable building code.
 8. All framing shall be in accordance with the requirements of the applicable building code.
 9. All framing shall be in accordance with the requirements of the applicable building code.
 10. All framing shall be in accordance with the requirements of the applicable building code.
- LEGEND**
- 1. See notes on this sheet.
 - 2. See notes on this sheet.
 - 3. See notes on this sheet.
 - 4. See notes on this sheet.
 - 5. See notes on this sheet.
 - 6. See notes on this sheet.
 - 7. See notes on this sheet.
 - 8. See notes on this sheet.
 - 9. See notes on this sheet.
 - 10. See notes on this sheet.



ROOF PLAN



10000 Wilshire Blvd, Suite 2000
Beverly Hills, CA 90210
Tel: 310.279.1111

PROJECT NO.

DATE

PROJECT INFORMATION
GARDEN GROVE
NEW BUILD

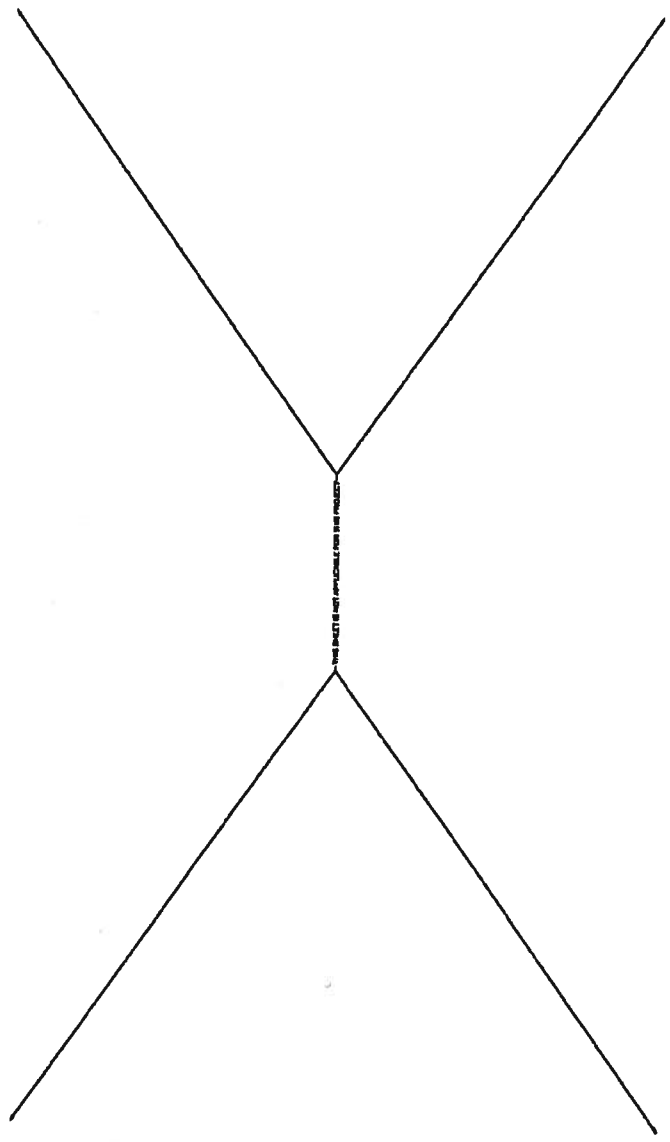
10001 STAMFORD AVENUE
GARDEN GROVE, CALIFORNIA, 92645

SIGN PLAN & PROGRAM



SCALE	DATE
BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

1





1841 Stanford Avenue
Garden Grove, California 92643
Tel: 714.271.2222

DATE: _____

SCALE: _____

PROJECT NO: _____

DATE: _____

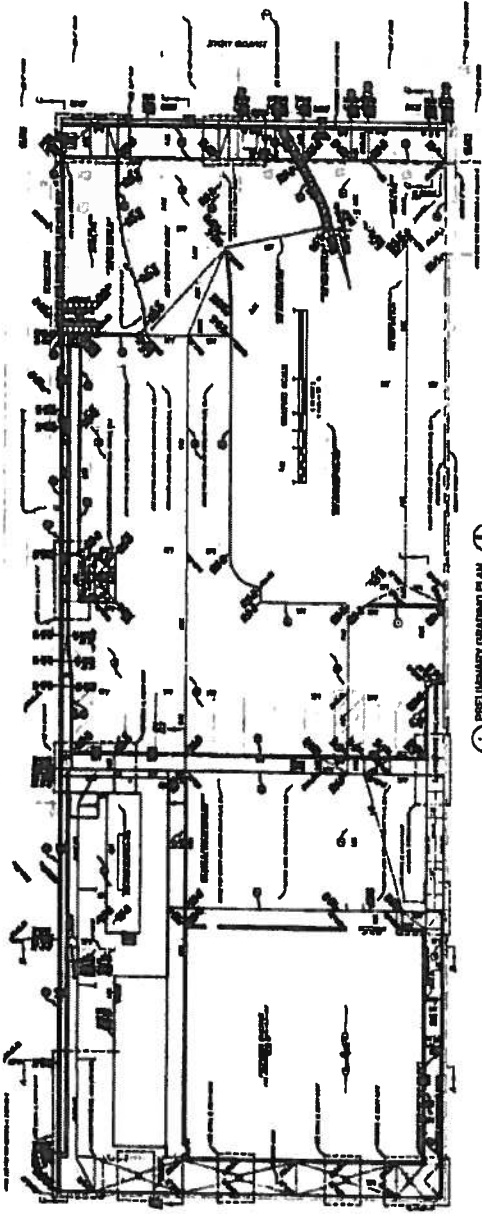
PROJECT NO: _____

1841 STANFORD AVENUE
GARDEN GROVE, CALIFORNIA, 92643

PRELIMINARY GRADING
PLAN

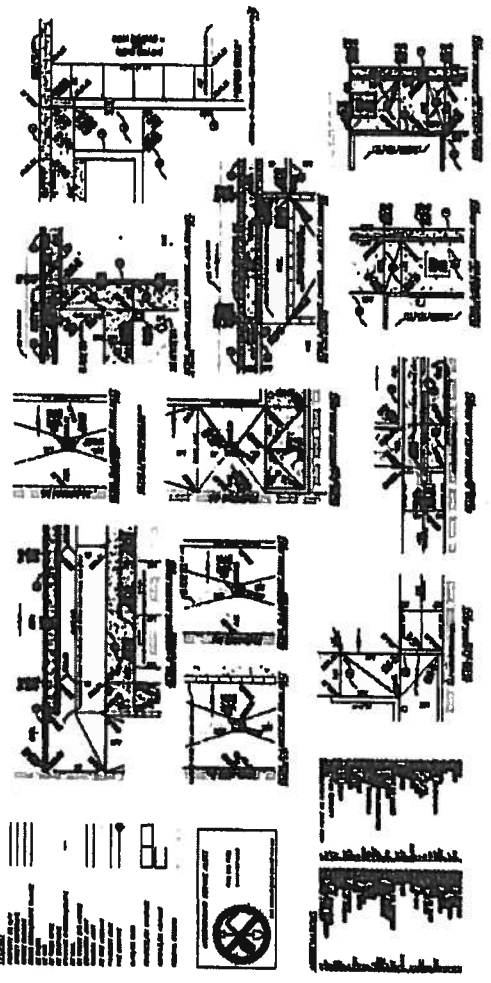
DATE	_____
SCALE	_____
PROJECT NO	_____
DATE	_____
SCALE	_____
PROJECT NO	_____

J



PRELIMINARY GRADING PLAN

- 1. EXISTING GRADE
- 2. PROPOSED GRADE
- 3. PROPOSED GRADE WITH 2% SLOPE
- 4. PROPOSED GRADE WITH 4% SLOPE
- 5. PROPOSED GRADE WITH 6% SLOPE
- 6. PROPOSED GRADE WITH 8% SLOPE
- 7. PROPOSED GRADE WITH 10% SLOPE
- 8. PROPOSED GRADE WITH 12% SLOPE
- 9. PROPOSED GRADE WITH 15% SLOPE
- 10. PROPOSED GRADE WITH 20% SLOPE
- 11. PROPOSED GRADE WITH 25% SLOPE
- 12. PROPOSED GRADE WITH 30% SLOPE
- 13. PROPOSED GRADE WITH 35% SLOPE
- 14. PROPOSED GRADE WITH 40% SLOPE
- 15. PROPOSED GRADE WITH 45% SLOPE
- 16. PROPOSED GRADE WITH 50% SLOPE
- 17. PROPOSED GRADE WITH 55% SLOPE
- 18. PROPOSED GRADE WITH 60% SLOPE
- 19. PROPOSED GRADE WITH 65% SLOPE
- 20. PROPOSED GRADE WITH 70% SLOPE
- 21. PROPOSED GRADE WITH 75% SLOPE
- 22. PROPOSED GRADE WITH 80% SLOPE
- 23. PROPOSED GRADE WITH 85% SLOPE
- 24. PROPOSED GRADE WITH 90% SLOPE
- 25. PROPOSED GRADE WITH 95% SLOPE
- 26. PROPOSED GRADE WITH 100% SLOPE



ASCENT

10000 CHERRY AVENUE
 SUITE 100
 SAN DIEGO, CA 92121
 TEL: 619.481.1000
 FAX: 619.481.1001

DATE: _____

PROJECT: _____

PROJECT INFORMATION:
 GARDEN GROVE
 NEW BUILD

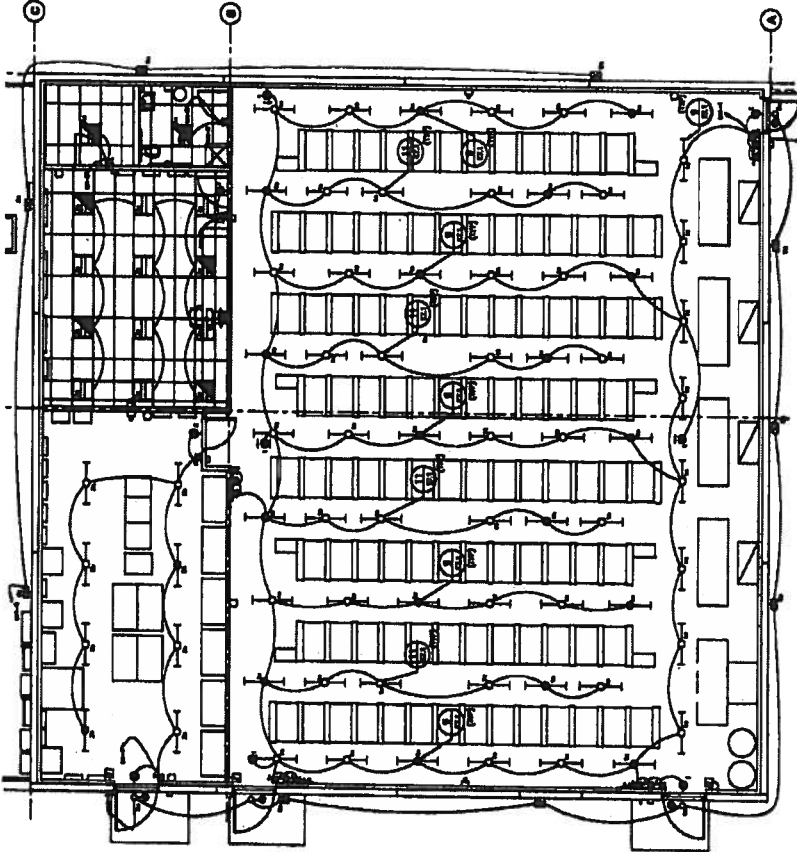
PROJECT INFORMATION:
 GARDEN GROVE
 NEW BUILD

10000 CHERRY AVENUE
 SAN DIEGO, CALIFORNIA, 92121

ELECTRICAL LIGHTING PLAN

DATE	_____
SCALE	1/8" = 1'-0"
PROJECT NO.	_____
CLIENT	_____
DESIGNER	_____

K



GENERAL NOTES:

1. SEE ALL FOR DIMENSIONS, FINISHES, ETC.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72) AND THE CALIFORNIA FIRE ALARM AND SIGNALING CODE (CFAS).



ELECTRICAL LIGHTING PLAN
 SCALE: 1/8" = 1'-0"

SYMBOL	DESCRIPTION	TYPE	WATTAGE	HEIGHT	NOTES
⊙	RECESSED CAN LIGHT	IC	40W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	60W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	75W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	100W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	150W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	200W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	300W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	400W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	500W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	600W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	700W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	800W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	900W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.
⊙	RECESSED CAN LIGHT	IC	1000W	5'-0"	SEE ELECTRICAL SPECIFICATIONS FOR WIRING AND DIMMING REQUIREMENTS.

RESOLUTION NO. 5924-18

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-055-2018 AND CONDITIONAL USE PERMIT NO. CUP-132-2018, FOR A PROPERTY LOCATED ON THE NORTH SIDE OF STANFORD AVENUE BETWEEN NELSON AND NUTWOOD STREETS, AT 10641 STANFORD AVENUE, ASSESSOR PARCEL NO. 089-101-23.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on June 21, 2018, does hereby approve Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018, for a parcel of land located on the north side of Stanford Avenue between Nelson and Nutwood Streets, at 10641 Stanford Avenue, Assessor Parcel No. 089-101-23.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Kevin McManus for Charter.
2. The applicant is requesting Site Plan approval to demolish an existing 9,600 square foot industrial building and site improvements on a 35,658 square foot lot to construct a new 4,992 square foot one-story, data center building located at 10640 Stanford Avenue, along with a parking lot, landscaping, and site improvements, in conjunction with Conditional Use Permit approval to operate a public utility station and equipment building.
3. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove has determined that the proposed project is categorically exempt from the CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines (14 Cal. Code Regs., Section 15303).
4. The subject site has a General Plan Land Use designation of Industrial/Residential MU2 and is zoned AR (Adaptive Reuse).
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject site have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on June 21, 2018, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of June 21, 2018, and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030 are as follows:

FACTS:

The subject site is a 35,658 square foot lot located on the north side of Stanford Avenue between Nelson and Nutwood Streets at 10641 Stanford Avenue. The subject site is improved with an existing approximately 9,600 square foot, one-story building, located on at the front portion of the subject site. There is one (1) substandard access point onto the site off Stanford Avenue that leads directly to the parking area.

The subject site has a General Plan Land Use Designation of Industrial/Residential MU2 and is zoned AR (Adaptive Reuse). The property abuts PUD-105-88 (Planned Unit Development) zoned properties to the north and the west, and AR (Adaptive Reuse) to the south across Stanford Avenue, to the east.

As of 1989, the site was operated as a tow and auto repair facility use. Currently, the site is vacant.

The applicant is requesting Site Plan approval to demolish an existing 9,600 square foot industrial building and site improvements on a 35,658 square foot lot to construct a new 4,992 square foot one-story, data center building along with a parking lot, landscaping, and site improvements. The applicant is also requesting approval of a new Conditional Use Permit approval to operate a public utility station and equipment building use.

SITE PLAN

Site Design and Circulation

The subject site is improved with one (1) substandard existing driveway approach, curb and gutter, and a public sidewalk off Stanford Avenue. The project will be designed with a new 30'-0" wide driveway approach along with a 20'-0" driveway throat meeting current City standards. The overall parking lot layout is "L" shaped, with a portion situated on the east side adjacent to the new trash enclosure, and the remaining parking area in the center of the subject site. A large portion of the landscaping is planted in the west and southwest portion of the subject site. The new data center building is a non-public building and thus, does not require a path-of-travel from the public right-of-way.

Building Placement

The building will be situated at the northwest corner of the subject site. The development standards for the AR zone requires the following building setbacks; a front 15'-0", a rear 10'-0" when abutting a residentially zoned lot, and zero setback

for the interior sides. The building placement complies with the required setbacks by providing a southerly front of 235'-0", a northerly rear of 10'-0", an easterly side of 36'-0", and a westerly side of 6'-0".

Floor and Exterior Equipment Plan

The interior of the 4,992 square foot building will consist of five (5) rooms: the data center; tech room; electrical room; storage room, and an unisex restroom. On the exterior of the building, 5'-0" away on the east side, on a 16'-0" by 50'-0" concrete pad, four (4) condensing units, approximately 4'-6" wide, by 19'-6" long, by 5'-0" tall, will be installed to maintain a cold temperature for the data storing units. To prevent any condensing unit sound transmission, a 20'-0" high concrete block wall will be built 10'-0" away from the north property line that abuts the adjacent residential development from the new building to the east property line. Additionally, beginning at the northeast corner of the site, an 8'-0" high concrete block wall by 124'-0" long will be built on the east side property line adjacent to the existing industrial use. The remaining distance of 162'-0" will consist of an 8'-0" high black vinyl chain linked fence. For power outage emergencies, 13'-0" away on the southeast side of the building, a generator, approximately 10'-0" wide, by 40'-0" long, by 13'-6" tall, will be installed on a 10'-0" by 40'-0" concrete pad. The conditions of approval will ensure that any proposed equipment shall be screened from the public right-of-way.

Elevation Design

The proposed elevations will consist of precision cement blocks laid out in a running bond pattern with flush grout lines. The building's elevation patterns will consist of two (2) concrete block colors, Austin Ivory and Aztec. The roof will be a standing seam metal roof with parapet and flashing cap. Overall, the architecture and design of the building aligns itself as contemporary architecture.

Parking

The City's Municipal Code Section 9.18.140.030, Parking Spaces Required, Industrial Uses, states that buildings with less than 20,000 square feet of gross floor area requires 2.25 parking spaces per 1,000 square feet of gross floor area.

Based on the proposed 4,992 square foot building, code requires twelve (12) parking spaces. The proposed site design provides a total of seventeen (17) parking spaces. The parking includes fifteen (15) standard parking spaces, two (2) accessible parking spaces, consisting of one (1) van accessible space, and one (1) standard accessible parking space.

Landscaping

Pursuant to Sections 9.18.100.020.C.5 and 9.18.120.030 of the City's Municipal Code, respectively, for this type of development, a minimum of sixty percent (60%) of the surface area of required setbacks and a minimum of ten percent (10%) of all net developable site area must be landscaped. The proposed Site Plan includes approximately 1,710 square feet of landscaping in the setbacks, which equates to

60% of the surface area of the required setbacks. A total of 9,020 square feet of landscaping is proposed site-wide, which equates to 28.2% of the net developable site area. Therefore, the Code's minimum landscaping requirements are met. As a condition of approval, the applicant is required to submit a landscape and irrigation plan to the City that complies with the landscaping requirement of Title 9 of the Municipal Code.

FINDINGS AND REASONS:

All findings for approval of the proposed Site Plan required under Section 9.32.030.D.3 (Site Plan) of the Garden Grove Municipal Code can be made.

SITE PLAN:

1. The Site Plan is consistent with the General Plan and complies with the spirit and intent of the provisions, conditions and requirements of the Municipal Code and other applicable ordinances.

The subject site has a General Plan Land Use Designation Industrial/Residential MU2 and is zoned AR (Adaptive Reuse). The Adaptive Reuse zoning is intended to provide a mix of work-live, light industrial, technology, creative industry, office, limited entertainment, and complementary uses near the City's civic core. Additionally, the Industrial/Residential MU2 land use designation is intended to allow existing industrial uses to remain. The applicant is proposing to conduct a data center in a new facility, and the zoning permits public utility stations and equipment building uses subject to a Conditional Use Permit. Policy LU-7B of the General Plan Use Element requires improved maintenance and rehabilitation of industrial buildings and sites. Policy LU-IMP-7C encourages industrial buildings and sites to ensure that current and rehabilitated facilities meet City standards for maintenance, landscaping, and community design. The proposed project will improve the site and fulfill the goals and policies of the General Plan and Land Use Code by creating a well-maintained and attractive development that enhances the existing industrial area and enables a new Garden Grove business to establish in the City.

2. The project will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

The proposed building does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and adequate pedestrian access. The proposed on-site and off-site improvements that will be performed will adequately accommodate the proposed project. The proposed project is designed with one (1) vehicle access point located off Stanford Avenue. Additionally, the City's Traffic Engineering Division has requested that the one (1) new ingress

and egress driveway be reconstructed to a width of 30'-0" wide along with a 20'-0" driveway throat to meet the City's current standards.

The project has been designed to meet the parking requirements of the Municipal Code, and will provide a total of 17 parking spaces. Two (2) will be accessible parking spaces, consisting of one (1) van accessible space and one (1) standard accessible space.

A new trash enclosure/bin will be provided to meet current City standards. As such, the proposed development will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation and points of vehicular and pedestrian access.

The City's Traffic Engineering Division has reviewed the proposed project, and all appropriate conditions of approval have been incorporated to minimize any adverse impacts to surrounding streets.

The City's Fire Department has reviewed the plans, and all appropriate conditions of approval will eliminate any adverse impacts to surrounding streets.

3. The project will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The streets in the area will be adequate to accommodate the proposed development once the developer provides the necessary improvements for the project. Street improvements include one (1) vehicle access point located off of Stanford Avenue at a width of 30'-0" along with a 20'-0" long driveway throat. The proposed development will provide landscaping and proper grading of the project site to improve adequate on-site drainage. Utilities and drainage channels in the area are existing and adequate to accommodate the development.

The City's Public Works Department has reviewed the proposed project, and all appropriate conditions of approval have been incorporated to minimize any adverse impacts to surrounding streets and alleys, utilities and drainage channels.

4. The Project will not adversely impact the Public Works Department's ability to perform its required function.

The proposed project requires various on- and off-site improvements, including requiring a new driveway to be a width of 30'-0" and along with grading improvements.

The Public Work's Department has reviewed the Project and has incorporated conditions of approval that will minimize any adverse impacts.

5. The project is compatible with the physical, functional, and visual quality of the neighboring uses and desirable industrial area characteristics.

The proposed project has been designed to consider building appearance, building placement, landscaping, and other amenities in order to create an attractive environment that will be an enhancement to the industrial area and is compatible with the physical, functional, and visual quality of the industrial area uses and desirable industrial area characteristics. All landscaped areas are required to adhere to the landscaping requirements of the Title 9 of the Municipal Code. Through the conditions of approval for the project, the necessary agreements for the protection and maintenance of all landscaping will be achieved.

6. That through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The proposed project has been designed with consideration to the building's appearance, building placement, form, function, landscaping, as well as other amenities to achieve an attractive environment. The proposed project will construct a new building and provide an industrial/utility use that will be both modern and productive. The proposed project may be the catalyst to inspire adjacent business or property owners to enhance the industrial area.

The proposed elevations will consist of precision cement blocks laid out in a running bond pattern with flush grout lines. The building's elevation patterns will consist of two (2) concrete block colors, Austin Ivory and Aztec. The roof will be a standing seam metal roof with parapet and flashing cap. Overall, the architecture and design of the building aligns itself as contemporary architecture.

CONDITIONAL USE PERMIT:

1. That the proposed use will be consistent with the City's adopted General Plan.

The subject site has a General Plan Land Use Designation Industrial/Residential MU2 and is zoned AR (Adaptive Reuse). The Adaptive Reuse zoning is intended to provide a mix of work-live, light industrial, technology, creative industry, office, limited entertainment, and complementary uses near the City's civic core. Additionally, the Industrial/Residential MU2 land use designation is intended to allow existing industrial uses to remain. The applicant is proposing to conduct a data center

within the new building and the zoning permits operating a public utility station and equipment building use subject to a Conditional Use Permit. Policy LU-IMP-7C encourages industrial buildings and sites to ensure that current and rehabilitated facilities meet City standards for maintenance, landscaping, and community design. In conjunction with the Conditional Use Permit request, the Applicant is proposing to improve the subject site in a manner consistent with this policy. The proposed development will create an environment and a use that is consistent with the goals of the General Plan.

2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the subject site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The subject site has a General Plan Land Use Designation of Industrial/Residential MU2 and is zoned AR (Adaptive Reuse). The subject site abuts PUD-105-88 (Planned Unit Development) zoned properties to the north and the west, and AR (Adaptive Reuse) zoned properties to the south across Stanford Avenue, and to the east. The proposed use neighbors other industrial uses, adjacent to the east, across Stanford Avenue to the south and southwest and therefore, the use is consistent with the development patterns in the area.

The proposed 4,992 square foot one-story building and the operation of a public utility station and equipment building facility use will not adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, nor will the use unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the subject site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The AR zone allows for the operation of a public utility station and equipment building facility use and would be compatible to the previous industrial use. The proposed public utility station and equipment building facility use is consistent with the goals of the General Plan. All appropriate conditions of approval for similar types of uses have been incorporated to minimize potential impacts to the adjacent properties.

The City's Departments have reviewed the plans, and all appropriate conditions of approval have been incorporated. The conditions of approval will ensure the public health, safety, and welfare. Provided the conditions of

approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area.

3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The subject site is a single parcel at 35,658 square feet. The proposed project will construct a new building, 4,992 square foot building to create a data center facility use. On-site and off-site improvements will be performed to accommodate the proposed project, including installing one (1) new 30'-0" wide driveway approach along with the required driveway throat of 20'-0" off Stanford Avenue. Additionally, the landscaping throughout the proposed project will be enhanced.

The proposed project has been designed to meet the parking requirements of the City's Municipal Code, by providing a total of seventeen (17) parking spaces. Two (2) will be accessible parking spaces, consisting of one (1) van accessible space and one (1) standard accessible space.

Lastly, a new trash enclosure/bin that meets the City development standards will be provided. As such, the proposed development is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features.

4. The proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The subject site is adequately served by existing public streets with one (1) new 30'-0" wide driveway, off of Stanford Avenue, allowing both ingress and egress. The site is adequately served by the public service facilities required such as public utilities: gas, electric, water, and sewer facilities.

The proposed project has been reviewed by City Departments responsible for traffic, water services, environmental services, and safety. These Departments have determined that the subject site will be adequately served by existing infrastructure, circulation, and other facilities to allow its operation.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan (SP-055-2018) and Conditional Use Permit (CUP-132-2018) possess characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030.
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the following conditions of approval, attached as "Exhibit A," shall apply to Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018.

EXHIBIT "A"

Site Plan No. SP-055-2018 & Conditional Use Permit No. CUP-132-2018

10641 Stanford Avenue

CONDITIONS OF APPROVAL

General Conditions

1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, within thirty (30) days of approval. This Conditional Use Permit runs with the land and is binding upon the Property Owner, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "Applicant" shall mean and refer to the project applicant, Kevin McManus, the current Owner(s) of the property, the future owner(s) and tenant(s) of the property, and each of their respective successors and assigns, including all subsequent purchasers and/or tenants. The Applicant, Owner(s) of the property, and subsequent property Owner(s) and operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the Planning Commission, except as otherwise provided herein.
3. This Conditional Use Permit only authorizes the operation of a 35,658 square foot (Data Center) Public Utility Station and Equipment Building Facility business as identified on the site plan and floor plan attached to these Conditions of Approval. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in the intensification of the project or create impacts that have not been previously addressed, and which are determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.

5. All conditions of approval shall be implemented at the Applicant's expense, except where specified in the individual condition.

Fire Department

6. The Applicant shall comply with all requirements of the Fire Department for all life safety issues. This includes, but is not limited to, ensuring that proper exiting is provided and maintained at all times.
7. The Applicant shall provide occupancy breakdown per room, which will determine exiting requirements pursuant to the current California Fire Code Standards.
8. The Applicant shall provide emergency lighting throughout the building pursuant to the current California Fire Code Standards.
9. Fire sprinklers, where required, shall be provided pursuant to the current California Fire Code Standards.
10. Fire hydrants, where required, shall be provided.
11. Fire alarm shall be provided pursuant to the current California Fire Code Standards.

Police Department

12. There shall be no uses or activities permitted of an adult-oriented nature as outlined in the City Code, Section 9.04.060.
13. The Applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
14. In the event of security problems occur, the Police Department may require additional security measures including security patrols and/or security lighting. Any installed lighting on the site shall be directed, positioned, or shielded in such a manner so as to not unreasonably illuminate nearby properties.
15. Any violations or noncompliance with the conditions of approval may result in the issuance of an Administrative Citation of up to \$1,000 pursuant to Chapter 1.22 of the Garden Grove Municipal Code, in addition to other penalties provided by law.

Public Works Engineering Division

16. The Applicant shall be subject to Traffic Mitigation Fees, Drainage Facilities Fees, Water Assessment Fees, and other applicable mitigation fees identified in Chapter 9.44 of the Garden Grove Municipal Code, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.
17. All vehicular access drives to the site shall be provided in locations approved by the City Traffic Engineer.
18. All parking spaces that abut to sidewalks that are not elevated with a curb face to the stall, if any, shall have wheel stops.
19. Prior to issuance of a grading permit, the applicant shall design overhead street lighting within the development in a manner meeting the approval of the City Engineer. Location of lighting poles shall be shown on the precise grading plans.
20. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability and groundwater levels.
21. A separate street permit is required for work performed within the public right-of-way.
22. Grading/Street improvement plans prepared by a registered Civil Engineer are required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30'-0" outside the boundary, and designed to preclude cross lot drainage. Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan. Street improvement plans shall

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- conform to all format and design requirements of the City Standard Drawings & Specifications.
23. Grading fees shall be calculated based on the current fee schedule at the time of permit issuance.
 24. If required, the grading plan shall depict an accessibility route for the ADA pathway in conformance with the requirements of the Department of Justice standards, latest edition.
 25. In accordance with the Orange County Storm Water Program manual, the applicant and/or its contractors shall provide dumpsters on-site during construction unless an Encroachment Permit is obtained for placement in street.
 26. Prior to the issuance of any grading or building permits or prior to recordation upon subdivision of land' if determined applicable by the City Building Official, the applicant shall submit to the City for review and approval a Water Quality Management Plan that:
 - a. Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas;
 - b. Incorporates the applicable Routine Source Control BMPs as defined in the DAMP;
 - c. Incorporates structural and Treatment Control BMPs as defined in the DAMP;
 - d. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs;
 - e. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs; and
 - f. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
 27. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:

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- a. Demonstrate that all structural best management practices (BMPs) describe in the Project WQMP have been constructed and installed in conformance with approval plans and specifications
 - b. Demonstrate that applicant is prepared to implement all non-structural BMP's described in the Project WQMP.
 - c. Demonstrate that an adequate number of copies on the approved Project WQMP are available on-site.
 - d. Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.
28. All trash container areas shall meet the following requirements per City of Garden Grove Standard B-502 and state mandated commercial organic recycling law-AB 1826:
- a. Paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, screened or walled to prevent off-site transport of trash;
 - b. Provide solid roof or awning to prevent direct precipitation;
 - c. Connection of trash area drains to the municipal storm drain system is prohibited;
 - d. Potential conflicts with fire code and garbage hauling activities should be considered in implementing this source control;
 - e. See CASQA Storm Water Handbook Section 3.2.9 and BMP Fact Sheet SD-32 for additional information;
 - f. The trash shall be located to allow pick-up and maneuvering, including turnarounds, in the area of enclosures; and
 - g. Pursuant to state mandated commercial organic recycling law-AB 1826, the applicant is required to coordinate storage and removal of the organics waste with local recycling/trash company.
29. The Applicant and his contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties (centerline and corner) and benchmarks located within the limits of the project. If any

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of the above require removal, relocation or resetting, the Contractor shall, prior to any construction work, and under the supervision of a California licensed Land Surveyor, establish sufficient temporary ties and benchmarks to enable the points to be reset after completion of construction. Any ties, monuments and bench marks disturbed during construction shall be reset per Orange County Surveyor Standards after construction. Applicant and his contractor shall also re-set the tie monuments where curb or curb ramps are removed and replaced or new ramps are installed. The Applicant and his contractor shall be liable for, at his expense, any resurvey required due to his negligence in protecting existing ties, monuments, benchmarks or any such horizontal and vertical controls.

30. Any new or required block walls and/or retaining walls shall be shown on the grading plans. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer. In addition, the following shall apply:
 - a. The color and material of all proposed block walls, columns, and wrought iron fencing shall be approved by the Planning Services Division Prior to installation.
31. The Applicant shall identify a temporary parking site(s) for construction crew and construction trailers office staff prior to issuance of a grading permit. No construction parking is allowed on local streets.
32. Prior to issuance of a grading permit, the Applicant shall submit and obtain approval of a worksite traffic control plan, satisfactory to the City Traffic Engineer.
33. Heavy construction truck traffic and hauling trips should occur outside peak travel periods. Peak travel periods are considered to be from 7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.
34. Any required lane closures should occur outside of peak travel periods.
35. Construction vehicles should be parked off traveled roadways in designated parking.
36. Prior to issuance of a grading permit, the Applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size storm drains per the Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309,

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Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.

37. All landscape, sidewalk and lighting improvements installed within the public rights-of-way shall be maintained by the Applicant in a manner meeting the approval of the City of Garden Grove. Prior to issuance of a building permit, the applicant shall design and construct street frontage improvements as identified below:

Stanford Avenue

- a. The existing substandard driveway approaches and landscape fronting the property along Stanford Avenue shall be removed and curb and gutter, sidewalk, and new driveway approach shall be constructed in accordance with the City of Garden Grove Standard;
- b. New 6-inch curb and gutter shall be constructed replacing portions of the existing driveway at 20'-0" from the center line of Stanford Avenue according to City of Garden Grove Standard Plan B-114 (Type D-6);
- c. Construct 6-inch curb and gutter along the property frontage on Stanford Avenue at 20'-0" from centerline in accordance with the City of Garden Grove Standard Plan B-114 (Type D-6);
- d. Construct a 10'-0" sidewalk adjacent to the new 6-inch curb and gutter along property frontage in accordance with the City of Garden Grove Standard B-106;
- e. Construct new driveway approach to the site in accordance with the City of Garden Grove Standard B-120. Standard Plan B-120 calls for a minimum width of 30'-0" for commercial and multi-residential projects, with any deviation from the standard requiring approval by the City Traffic Engineer and detailed on the street improvement plan showing all modifications.
- f. Applicant shall coordinate the location of all new water meters, backflow preventers and backflow devices to be placed in sidewalk/landscape area on Stanford Avenue with Planning Services Division and Water Services Division; and
- g. Any proposed new landscaping in public right-of-way shall be approved by Planning Services Division and maintained by the Applicant and/or Property Owner.

Public Works Water Services Division

38. New water service installations 2" and smaller, shall be installed by the City of Garden Grove at Owner's/Developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by Owners/Developer's contractor per City Standards.
39. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services three inch (3") and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
40. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. The Applicant shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. The Applicant must open a water account upon installation of RPPD device.
41. There shall be a minimum 15'-0" clearance of building footings from water main. Clearances less than 15'-0" shall be reviewed and approved by Water Engineering.
42. New utilities shall have a minimum 5'-0" horizontal and a minimum 1'-0" vertical clearance from water main and appurtenances.
43. There shall be a minimum clearance from sewer main and water main of 10'-0" feet from outside of pipe to outside of pipe.
44. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.
45. City shall determine if existing water services(s) is/are usable and meets current City Standards. Any existing meter and service located within new driveway(s) shall be relocated at owner's expense.
46. Existing vaulted fire service connection shall be abandoned per Water Services inspector. Single check valve and piping inside vault to be removed

and water pipe to be capped. Refer to sheet C Site Plan and sheet J Preliminary Grading Plan for marked up location of existing fire service vault.

47. If required, fire service shall have above-ground backflow device with a double-check valve assembly. Device shall be tested immediately after installation, and once a year thereafter, by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Division. Contact Water Engineering for additional requirements for plan submittal at (714) 741-5346.
48. Location and number of fire hydrants shall be as required by Water Services Division and the Fire Department.
49. If needed, owner shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" min. dia., extra strength VCP with wedgelock joints.
50. Contractor shall abandon any existing unused sewer lateral(s) at street right-of-way on the property owner's side. The sewer pipe shall be capped with an expansion sewer plug and encased in concrete.

Building and Safety Division

51. Project shall comply with the 2016 CA Building Code (CBC), Mechanical Code (CMC), Plumbing Code (CPC), Electrical Code (CEC), Green Building Standards Code (CGBSC) and the 2016 CA Building Energy Efficiency Standards.
52. Long term and short term bicycle parking shall be provided per CGBSC Section 5.106.4.
53. Designated parking for "clean air" vehicles shall be provided per CGBSC Section 5.106.5.2 and Table 5.106.5.2.
54. Electric vehicle (EV) charging shall be provided per CGBSC Section 5.106.5.3 and Table 5.106.5.3.3.
55. Construction waste reduction, disposal and recycling shall comply with CGBSC Section 5.408 and City Construction Waste Management forms shall be completed and imprinted on plan.

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56. All water usage in landscape shall comply with CGBSC Section 5.304 and the City of Garden Grove Landscape Water Efficiency Guidelines. A worksheet showing compliance shall be included in landscaping plans for review.
57. Plans, when submitting for review, shall clearly show compliance with building area/height per CBC Chapter 5.
58. Building occupancy group and occupant load shall clearly be identified on plans and shall comply with CBC Chapter 3 and Chapter 10.
59. An accessible route shall be provided throughout site and within building interior spaces in accordance with CBC Section 11B-206 and shall comply with CBC Chapter 11B, Division 4.
60. Accessible parking identification and marking shall comply with CBC Section 11B-208.
61. Plumbing elements and facilities shall be provided and shall comply with CBC Chapter 11B, Division 6.
62. The proposed building shall comply with all mandatory requirements for solar ready per the 2016 CA Building Energy Efficiency Standard Section 110.10.

Community and Economic Development Department

63. There shall be no additional changes in the design of the floor plan without the approval of the Community and Economic Development Department, Planning Services Division. Any additional changes in the approved floor plan, which has the effect of expanding or intensifying the present use, shall require approval of a new or amended Conditional Use Permit.
64. This approval shall allow the operation of a public utility station and equipment building facility use only. There shall be no additional uses, activities, or changes in operation, or expansion of the use without first obtaining approval by the City through the appropriate process.
65. Based on the Applicant's representation, the public utility station and equipment building use will require up to a total of twelve (12) on-site parking spaces, seventeen (17) were provided, which shall be available on the property for the operation of the proposed use. The parking spaces shall be available at all times for employee(s) only.
66. There shall be no business storage permitted outside of the building. All business related equipment, material, supplies, and/or machinery shall be kept inside the building except for loading or unloading purposes.

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67. Deliveries may occur during all hours of the day 7:00 a.m. to 10:00 p.m., seven days a week. Delivery trucks shall be shut off and shall not remain idle during deliveries. However, in the event problems arise where the delivery hours need to be reduced or restricted in order to minimize noise issues, the operator shall modify the delivery hours as prescribed by the City.
68. Litter shall be removed daily from the premises, including adjacent public sidewalks, and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
69. All trash bins shall be kept inside the trash enclosure, and gates closed at all times, except during disposal and pick-up. Trash pick-up shall be based on the existing schedule provided by the commercial center.
70. The Applicant shall abate all graffiti vandalism within the premises. The applicant shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
71. No razor wire or concertina wire shall be used on any of the subject site perimeter walls or fences.
72. All materials, including oil and solvents shall be properly stored and disposed of per the U.F.C. and C.B.C.
73. Any satellite dish antennas installed on the premises shall be screened, subject to approval by the Community and Economic Development Department, Planning Division. No advertising material shall be placed thereon.
74. All signs shall comply with the City's sign requirements set forth in Title 9 of the Municipal Code., Any modifications to existing signs or the installation of new signs shall require approval by the Community and Economic Development Department, Planning Services Division prior to issuance of a building permit. No more than 15% of the total window area and clear doors shall bear advertising or signs of any sort.

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75. Hours and days of construction and grading shall be as follows as set forth in the City of Garden Grove's Municipal Code Section 8.47.010 referred to as the County Noise Ordinance as adopted:
 - a. Monday through Saturday - not before 7:00 a.m. and not after 8:00 p.m. (of the same day).
 - b. Sunday and Federal Holidays may work the same hours, but be subject to noise restrictions as stipulated in Section 8.47.010 of the Municipal Code.
76. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust), which includes dust minimization measures, using electricity from power poles rather than diesel or gasoline powered generators, and using methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible, using solar or low-emission water heaters, and using low-sodium parking lot lights, to ensure compliance with Title 24.
77. During construction, if paleontological or archeological resources are found, all attempts will be made to preserve in place or leave in an undisturbed state in compliance with applicable laws and regulations.
78. The proposed trash enclosure shall be designed to comply with the City's B-502 trash enclosure standard configuration, or with an alternative design approved by the Public Works Engineering Division, which includes the installation of corrugated metal gates. The applicant shall contract with the City's approved trash disposal company for solid waste processing.
79. The trash enclosure shall match the color and exterior finish of the adjoining building. The proposed roof design of the trash enclosure shall be architecturally compatible with the design of the adjoining building. The Planning Services Division shall review and approve the design of the proposed roof and the material(s). The proposed roof and materials shall comply with the building code requirements.
80. The trash enclosure shall be screened with landscaping. Landscaping screening shall consist of evergreen shrubs, vines, or closely spaced trees.
81. The trash bins shall be kept inside the trash enclosures, and gates closed at all times, except during disposal and pick-up. All trash bins shall be promptly placed back within the trash enclosure after pick-up. The property owner shall provide sufficient trash bins and pick-up to accommodate the site. If noise or other complaints are received by the City due to the location of the

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trash enclosure and bin pick-up route, the applicant shall resolve the issue to the satisfaction of the Community and Economic Development Director.

82. The Applicant shall comply with the adopted City Noise Ordinance.
83. As a part of the finalized working drawings for Planning Services Division, Engineering Division and Building and Safety Plan Check, the Contractor or Applicant shall submit a detailed and dimensioned plot plan, floor plans, exterior elevations, and landscape plans that reflect the conditions of approval herein. The plans shall indicate landscape materials, wall materials, and building materials proposed for the project.
84. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the Planning Services Division. Lighting adjacent to residential properties shall be restricted to low, decorative type, wall-mounted lights, or ground lighting system. Any new lighting that is provided within the revised parking lot area shall maintain a minimum of two foot-candles of light on the parking areas during business hours. Lighting in the parking areas shall be directed, positioned, or shielded in such manner so as not to unreasonably illuminate the windows of adjacent properties.
85. The Applicant shall submit a light plan (photometric plan) to Planning Services for review and approval. The lighting shall be provided throughout the parking area at a minimum of two-foot candle of light during the hours of darkness when the businesses are open, and one-foot candle of light during all other hours of darkness.
86. The Applicant shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community and Economic Development Department, Planning Services Division, for review and approval prior to submittal of plans for Building and Safety Division, Plan Check. The project shall also be subject to the following:
 - a. All above-ground utility equipment (e.g., electrical, gas, telephone, generator, condensing unit(s)) shall not be located in the street setbacks and shall be screened from the view of public streets, including the surrounding properties to the satisfaction of the Community and Economic Development Department, Planning Services Division; and
 - b. No roof or wall mounted mechanical equipment shall be permitted unless the Planning Services Division approves a method of screening complementary to the architecture of the building, prior to the issuance of

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building permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets, including the surrounding properties.

87. The Applicant shall submit a complete landscape plan governing the entire development for review and approval by the Community and Economic Development Department prior to building permit issuance. The landscaping plan shall be in substantial conformance with the proposed landscaping shown on the submitted site plan for this project. Said plan shall include type, size, location and quality of all plant material. The plan shall include an irrigation plan, and staking and planting specification. The landscape plan is subject to the following:
- a. A complete, permanent, automatic remote control irrigation system shall be provided for all common area landscaping shown on the plan. The sprinklers shall be of low flow/precipitation/drip/micro-spray/etc. sprinkler heads for water conservation;
 - b. All above-ground utilities (e.g., water backflow devices, electrical transformers, irrigation equipment, etc.) shall be shown on the landscape plan in order to ensure proper landscape screening and will be provided around each of these equipment/apparatus;
 - c. The Applicant shall be responsible for the installation and maintenance of all landscaping on the property during and after the construction period. Said responsibility shall extend to within the public right-of-way;
 - d. All proposed trees shall be non-fruit bearing, evergreen trees that require minimal maintenance; and
 - e. No trees shall be planted closer than five-feet (5'-0") from the public right-of-way. Trees planted within fifteen-feet (15'-0") of any public right-of-way shall be planted in a root barrier shield. All landscaping along street frontages, adjacent to driveways, shall be of the low-height variety to ensure safe sight clearance.
 - f. Applicant shall install ground cover in 60% of the 10'-0" rear setback area along with canopy trees.
 - g. All landscape areas, including the areas located within the public right-of-way, are the responsibility of the Applicant.

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- h. The Applicant shall maintain all landscaped areas in a neat and healthy condition. Landscaping maintenance shall include pruning or removal of overgrown weeds and vegetation.
 - i. At the time of irrigation installation, the irrigation system shall comply with all applicable provisions of the City's Water Conservation Ordinance, the City's Municipal Code landscape provisions, and all applicable state regulations.
88. No exterior piping, plumbing, roof top access ladders, or mechanical ductwork shall be permitted on any exterior facade and/or be visible from any public right-of-way or adjoining property, unless properly screened.
 89. All proposed ground-mounted mechanical equipment (such as generator and condensing units) shall be screened from the public right-of-way.
 90. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the Applicant and all agents thereof.
 91. All drive aisles on the site are considered to be fire lanes and shall remain clear and free of any materials, and/or vehicles.
 92. The Applicant shall work with planning staff to ensure that the proposed building colors are appropriate, and not overly bright. The Applicant shall submit the actual chip samples of the proposed paint colors to the Planning Services Division for review and approval.
 93. All conditions of approval must be printed verbatim on all plans submitted for plan review to the Building and Safety Division. These conditions must be printed on the site plan or a subsequent reference page.
 94. A copy of the Resolution No. 5924-18 approving Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018 shall be kept on the licensed premises at all times and be made available upon request by City Staff and/or Police Department.
 95. The Applicant shall submit a signed letter acknowledging receipt of the resolution approving Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018, and his/her/its agreement with all conditions of the approval.

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96. The Applicant is advised that this Conditional Use Permit may be reviewed one (1) year from the date of this approval, and at least every three (3) years thereafter in order to determine if the business is operating in compliance.
97. In addition, this Conditional Use Permit may be called for review before the City staff, the City Council, or Planning Commission at any time, if noise or other types complaints are filed and verified as valid by the Code Enforcement office or other City department concerning the violation of approved conditions, the Garden Grove Municipal Code, or any other applicable provisions of law.
98. It shall be the applicant's responsibility to verify that any building or site improvements do not cross over, encroach into, or cause issue with any recorded easements on the subject property or the adjacent properties.
99. The Applicant shall, as a condition of Project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018. The Applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The Applicant shall defend the City with legal counsel mutually selected by the Applicant and the office of the City Attorney and shall further pay any adverse financial award, which may issue against the City, including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
100. Upon approval and implementation of the proposed entitlements, SP-055-2018 and CUP-132-2018 shall constitute the governing provisions on the subject site and prior entitlements shall become null and void.
101. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the use authorized by this approval of Site Plan No. SP-055-2018 and Conditional Use Permit No. CUP-132-2018 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of

the appeal period and thereafter diligently advanced until completion of the project.